

MAYOR
Alys C. Lawson

MAYOR PRO TEM
Barbara Blain-Bellamy



COUNCIL MEMBERS
Randle L. Alford
Thomas J. "Tom" Anderson II
William M. Goldfinch IV
Jean M. Timbes
Larry A. White

PLANNING DEPARTMENT

COMMUNITY APPEARANCE BOARD WEDNESDAY, JULY 8, 2015, 4:00 P.M. CITY HALL COUNCIL CHAMBERS

- I. CALL TO ORDER**
- II. APPROVAL OF JUNE 24, 2015 MINUTES**
- III. CERTIFICATES OF APPROPRIATENESS**
 - A. Boyd & Linda Gainey:** The applicants are proposing to add an addition to their home at 1201 Main Street that replaces a previously existing storage building. The proposed storage addition will be connected to their home through a proposed porch addition. The property is zoned Professional (P) and is located within the Main Street HDRD (TMS #123-14-09-005 / PIN: 33812040021).
 - B. First United Pentecostal Church:** The applicant (Ryan Harvey) proposes to install a handicap ramp at First United Pentecostal Church, located at 906 Main Street. The applicant also proposes to remove existing landscaping in order to install the ramp. The brick that will be used in completing the handicap ramp will match the brick that is on the church and the additional hand railing that will be used will also match the existing hand railing that is currently on the church steps. The property is zoned Professional (P) and is located within the Main Street HDRD (TMS #123-14-18-004 / PIN: 33813010031).
 - C. Waccamaw Shrine Club:** The applicant (A1 Signs & Graphics) proposes to install an HDU sandblasted sign to replace the existing red aluminum sign at the Waccamaw Shrine Club, located at 10 Elm Street. The property is zoned WRD1 (Waccamaw River District 1 and is within the Waccamaw Riverfront HDRD (TMS #137-00-02-001 / PIN: 36701040008).
- IV. BOARD INPUT**
- V. STAFF INPUT**
- VI. ADJOURN**

**CITY OF COWNAY
COMMUNITY APPEARANCE BOARD MEETING
WEDNESDAY, JUNE 24, 2015
COUNCIL CHAMBERS – 4:00 P.M.**

Present: Brenda Ivester, Danny Clonts, Paul Doyle, Jason Pippin, George Ulrich, Heather Whitley, Anne Bullock

Absent: N/A

Staff: Jessica Hucks, Zoning Officer; Adam Emrick, Planning Director; Barbara Tessier, Secretary

Others: Elaine Sivret

I. CALL TO ORDER

Chairman Ulrich called the meeting to order at 4:00 p.m.

II. APPROVAL OF MINUTES

Pippin made a motion, seconded by Clonts, to approve the June 10, 2015 minutes as written. The vote in favor was unanimous. The motion carried.

III. CERTIFICATES OF APPROPRIATENESS

A. Mason Jar Deli & Market – A1 Signs and Graphics, applicant, is requesting to install two sandblasted wall signs, window and door signage, and a sandblasted hanging bracket sign for the property located at 1129A Third Avenue. (TMS# 137-06-19-001 / PIN 36804020053)

Elaine Sivret from A1 Signs and Graphics was present.

Hucks said the applicant was requesting two wall signs. She said this was permitted because the building was on a corner lot. Hucks said the wall signs met the size requirements. She said they were also requesting a logo window decal for the Third Avenue entrance door and for one window panel on the Elm Street side. The door signage on the Elm Street side was requested for to display the shop hours of operation. This signage also met size requirements.

Hucks said they were also requesting four window decals, one each on each of the glass window panels on the front façade located at the bottom of the window panels.

Hucks said the wall signs lettering and logo would be Conway green with a white background. The decals on the bottom of the front façade window panels would be the Conway green background with white lettering.

Hucks said staff recommended approving the requests provided the hanging bracket sign be considered secondary in nature to the primary signs.

Clonts asked if the awning would remain red. Sivret said there had been no mention of the awning color changing.

Doyle said if the board approved the hanging bracket sign it would be setting a precedence. Sivret said the owner did not think the hanging bracket sign was critical. She said the bracket was already on the building.

Whitely said she did not care for the signs. Ivester said they board could not discriminate against taste, but felt the hanging bracket sign should not be permitted.

Pippin made a motion, seconded by Doyle, to approve the wall, window, and door signage as presented, but to deny the hanging bracket signage. The vote in favor was unanimous. The motion carried.

B. Solicitor Intervention Office – Ben Griffith of Spann Roofing requests approval of the reroofing, removal of terracotta coping, installation of treated wood blocking to the top of the parapet wall, new sheet metal coping caps, and new white gutter, downspouts and eave strips to the building located at 114 Laurel Street. (TMS# 137-06-22-001 / PIN 36701010002)

Hucks said this agenda item had been before the Board on May 13, 2015 and had been tabled until an alternative way of reroofing the building could be found that would permit the retention of the terracotta coping on the building.

Paul Doyle, a member of the Board, recused himself and acted as the presenter for this agenda item.

Doyle said they had found a way to reroof the building, retain the terracotta caps and obtain the waterproof guarantee. He said they would take off the existing terracotta caps, install the new roofing material, install a metal coping, and cover the metal coping with the original terracotta caps. Doyle said the metal edge of the coping would show beneath the terracotta caps

by about ½ “. However, he said with the height of the building, it should not be visible.

Doyle said they would take terracotta caps from the rear of the building and reinstall it on the Laurel Street side where there is no terracotta capping at the present time. Doyle said the side of the building facing Second Avenue did not have the terracotta caps and there still would be none in this location.

Doyle said Spann Roofing had found a mason who had worked with terracotta caps early in his career, and he would help with the installation.

Staff said they were not opposed to this solution to the roofing issue.

Pippin made a motion, seconded by Clonts, to approve the reroofing as presented by Doyle. The vote in favor was unanimous. The motion carried.

Once the voting had taken place, Doyle resumed his seat on the board.

IV. CONCEPTUAL REVIEW

Emrick told the Board he had been approached by the owner of Waccamaw River Rentals about putting a building to be used as a store that would rent kayaks and other equipment. They wanted to be able drag it on and off the property located next to the Cypress Inn. Emrick said it would have to be a stationary structure. He said it would need sanitary facilities.

Bullock asked if it would be similar in color and materials to the surrounding buildings. Doyle said he thought it would have to relate to the inn. Emrick asked if the Board would approve it to be natural or similar to the inn. Whitley thought in that area, the unfinished or natural look would not fit in.

Clonts asked if there would have to be landscaping. Emrick said there would be landscaping.

Ulrich asked if it would have two fronts like the Cypress Inn had.

Emrick was asked about parking. He said there was some parking with the parcel.

Pippin said he thought they should see where the structure was going to be placed on the property.

Bullock asked how large the structure would be. Emrick was not sure.

V. BOARD INPUT

Staff was asked if the city was responsible for trees in the right-of-way and if the city would trim them or did it have to come before the Tree Board. Emrick said the city could trim trees without coming to the Tree Board.

Staff was asked about the Oak trees that were cut down behind Palmetto Chevrolet and whether or not they had permission to do so. Emrick said he would check.

Pippin asked about the red sign at the Shrine Club. Emrick said it was never permitted. He said he had made it clear to Jerry Johnson that he had to come to the CAB for approval and that he would have to pull a permit.

VI. STAFF INPUT

There was none.

VII. ADJOURN

There being no further business to come before the Board, the meeting adjourned at 4:35 p.m.

Approved and signed this _____ day of July, 2015.

George Ulrich, Chairman

ISSUE:

Boyd & Linda Gainey: On June 10th, the applicants submitted a building permit application for an addition to their home located at 1201 Main Street to replace a previously existing storage building. They would like to erect a new storage building in the same location as the one that previously existed and will be connected by a porch addition, as presented on the applicants site plan (TMS #123-14-09-005 / PIN: 33812040021).

ZONING DISTRICTS:

Professional (P), Main Street Corridor HDRD

SCOPE OF WORK:

The applicants are proposing to build an addition to their home that replaces a storage building that once existed on the property. Unlike the storage building, however, the proposed addition will be attached to the home and will also match the exterior façade of the home, giving the home and lot a more unified appearance. The proposed storage and porch addition is approximately 630 square feet. The storage addition is separated by a porch area that will not be enclosed and will be used for outdoor enjoyment and grilling. The porch area will also have a brick, outdoor fireplace that measures 1.5' x 5' totaling 7.5 sq. ft.

The lot is located in the Professional (P) zoning district. This intent of this district is to accommodate office, institutional, and residential uses in areas whose character is neither exclusively business nor residential in nature. This district is intended to establish areas that provide professional services to the public, which do not materially detract from nearby residential areas. More specifically this district should serve as a transitional zone between more intensive commercial areas and residential areas. This district is not intended for businesses that engage in retail sales.

Per Section 4.2 (A), single-family detached dwellings are a permissible use in the Professional (P) zoning district. As such, accessory structures or additions would also be permitted, in accordance with the setbacks listed in Table 6.2 of Section 6.3 – Non-residential Design Standards, of the Unified Development Ordinance (UDO).

Per the applicant's site plan submission, the proposed addition will be 10' from the rear property line, 9.14' from the right side property line, and 36.10' from the corner front yard property line (12th Ave side). While accessory structures are permitted to be 5' from property lines and the principle structure, the new proposed structure will be connected to the principle structure and not detached like the previously existing storage building. Therefore, the new addition is subject to the standard setbacks for the district. If the board chooses to grant the applicant's request, a variance from the rear yard and right side yard setback requirements are needed to accommodate the proposed additions.

APPLICABLE ORDINANCE AND GUIDELINES

City of Conway Unified Development Ordinance (UDO):

- *Section 6.3 – Non-Residential Design Standards*
 - *Table 6.2: Non-Residential Zoning Districts: Dimensional Requirements for the Professional (P) Zoning District:*
 - *Front yard setback requirement, minimum: 20'*
 - *Corner front yard setback requirement, minimum: 20' (in place of left side setback, 12th Ave side)*

- *Left side setback requirement (standard): 10'*
- *Rear yard setback requirement: 15'*
- *Section 6.3.2 Professional (P):*
 - C. *Architectural Design Standards:*
 - *Depending on the location of the proposed development, the Planning Director or CAB will insure compliance with the architectural design standards that are identified in Section 6.3.1.*

“Historic Design Review Districts: Community Appearance Guidelines”:

- **8.9. New Residential Additions:**
 - ***Views from the public right-of-way:***
 - 8.8.1 – *if small roof rooms, decks, cupolas, skylights, mechanical screening, or egress structures are added to residential structures, ensure they are not readily visible from public streets, prominent pedestrian viewpoints, or scenic vistas. The CAB may require illustrations showing the additions as they would be seen from other vantage points and will suggest the appropriate scale of additions to roofs.*
 - ***Home Additions in Context:***
 - 8.8.2 – *if additional square footage is necessary, designing the new addition to the rear of the structure is preferred to adding another story if space is available to the rear of the building. This will not interfere with the original form of the home as seen from the public right-of-way.*
 - 8.8.3 – *Inset new walls from the corner and lower roofs when framing additions from the sides of the home, allowing the original form of the historic structure to be “read.”*
 - 8.8.4 – *use of new construction material is permitted and welcome. Offset board or brick pattern slightly. Being able to differentiate the new from old is important.*
 - 8.8.5 – *Ensure that the characteristics of additions continue those of the original architecture (massing, height, rhythm of openings, and general type of materials), with the goal of complimenting the existing building style as well as the existing homes in the adjacent neighborhood area.*

STAFF RECOMMENDATION:

Staff recommends a thorough review by the CAB and consideration of the applicant’s request.

Aerial view of 1201 Main Street



33812040022

33812040019

33812040021

33812040066

33812040030

33812040020

33812040031

33812040058

33812040032

33812040057

33812040036

33812040056

33812040035

33812040063

POWERED BY
esri



City of Conway

Community Appearance Board

APPLICATION / CERTIFICATE OF APPROPRIATENESS

Staff Use Only
Received: <u>6/25</u>
Staff: <u>JAT</u>
Inspected: _____

City of Conway Planning Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Property Address: <u>1201 Main St.</u>		TMS#: <u>123-14-09-005</u>	
Review Request:	Project Type:	HDRD: <u>Main St.</u>	Meeting Date: <u>7.8.15</u>
<input type="checkbox"/> Conceptual <input checked="" type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Alterations / Additions <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Signs <input type="checkbox"/> Landscape <input type="checkbox"/> Color Change	<input type="checkbox"/> Miscellaneous (Fencing, roofs, etc) <input type="checkbox"/> Demolition / Moving of Structure <input type="checkbox"/> Repairs / Repainting with no Change <input type="checkbox"/> Appeal the Decision of Planning Staff	

Property Owner: <u>Boyd & Linda Garney</u>	Daytime phone: <u>488-8206</u>
Applicant:	Daytime phone:
Applicant's mailing address: <u>1201 Main St.</u>	Applicant's e-mail address: <u>bwglhga@hotmail.com</u>
City: <u>Conway SC.</u>	State: _____ Zip Code: _____
Applicant's relationship:	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Broker <input type="checkbox"/> Other

Value of Project (As noted on Building Permit): \$ _____

In your own words, describe what you are requesting: proposing to replace a building that was connected to home on property. New structure will match facade of home. Using same building materials as used on home. Pre-existing structure was 10-ft from the rear property line. Asking to put new structure in the same approx. location as pre-existing structure.

<p>Submittal Requirements: (See attached CAB Requirements) ***Digital copies of all supporting materials must be submitted along with two hard copies:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Zoning approval obtained and/or initial TRC review completed <input checked="" type="checkbox"/> Completed CAB application <input type="checkbox"/> Two (2) copies of all relevant information (As deemed necessary by CAB and/or Planning Director) <input type="checkbox"/> Site plans illustrating of existing structures and proposed new structures and/or additions <input type="checkbox"/> Landscape plans illustrating the location of existing landscaping and proposed new landscaping; 	<ul style="list-style-type: none"> <input type="checkbox"/> Building designs and facade drawings of the front, sides, and rear of all proposed new structures and/or facades proposed to be renovated; <input type="checkbox"/> Plans for existing signage and proposed new signage; <input type="checkbox"/> Color samples of paint, brick, shingles, siding; <input type="checkbox"/> Topographic surveys; <input type="checkbox"/> Tree surveys; <input type="checkbox"/> Lighting plans; <input type="checkbox"/> Specifications for miscellaneous architectural elements (lighting fixtures, hardware and finishes, etc.)
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I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be inspected, and that all required material will be submitted to the City of Conway Planning Department no later than ten(10) days prior to the meeting date. The Community Appearance Board meets the second and fourth Wednesday of each month at 4:00 P.M. in City Hall, 229 Main Street. **I understand that it is my responsibility to obtain all necessary approvals from other city departments, and that all zoning requirements must be satisfied prior to the project's being placed on a Community Appearance Board agenda. A REPRESENTATIVE MUST BE PRESENT AT THE MEETING TO HAVE YOUR REQUEST HEARD.**

Applicant's signature: date: 6-25-15

Print name legibly: Boyd W. Garney Jr.



Building Department Permit Application

Application and all required supporting materials must be completed prior to requesting a permit.

Boyd + Linda GAINey

City of Conway Building Department
206 Laurel Street, 29526

Phone: (843) 488-9888
Conway, South Carolina

FAX: (843) 488-9890
www.cityofconway.com

Address of Work Site: <u>1201 MAIN ST</u>		TMS# <u>123-14-09-005</u>	Zoning: <u>P</u>
Owner of Property: <u>Boyd + Linda GAINey</u>		Mailing Address: <u>1201 MAIN ST.</u>	
Phone #: <u>843-488-0038</u> Fax #:		<u>Conway SC</u>	
Contractor: <u>self</u>		Mailing Address: <u>Above</u>	
Phone #: <u>Above</u> Fax#:		<u>843-488-2636</u>	
City Business License #:		State License #: _____ Expiration Date: _____	
Architect/Designer: _____		Mailing Address: _____	
Phone #: _____ Fax#:		_____	
Engineer: <u>Wall Engineering & Design</u>		Mailing Address: <u>314-B LAUREL ST</u>	
Phone #: <u>843-488-4180</u> Fax#:		<u>Conway SC</u>	
<u>amber@walleng.com</u>			

bank L. perm

Type of Work : New Addition Alteration Repair Move Remove Other
 Commercial Residential Other Replacing building on existing Foot Print

Explain Work Specifically: Replacing out building on existing Foot Print connected by Porch

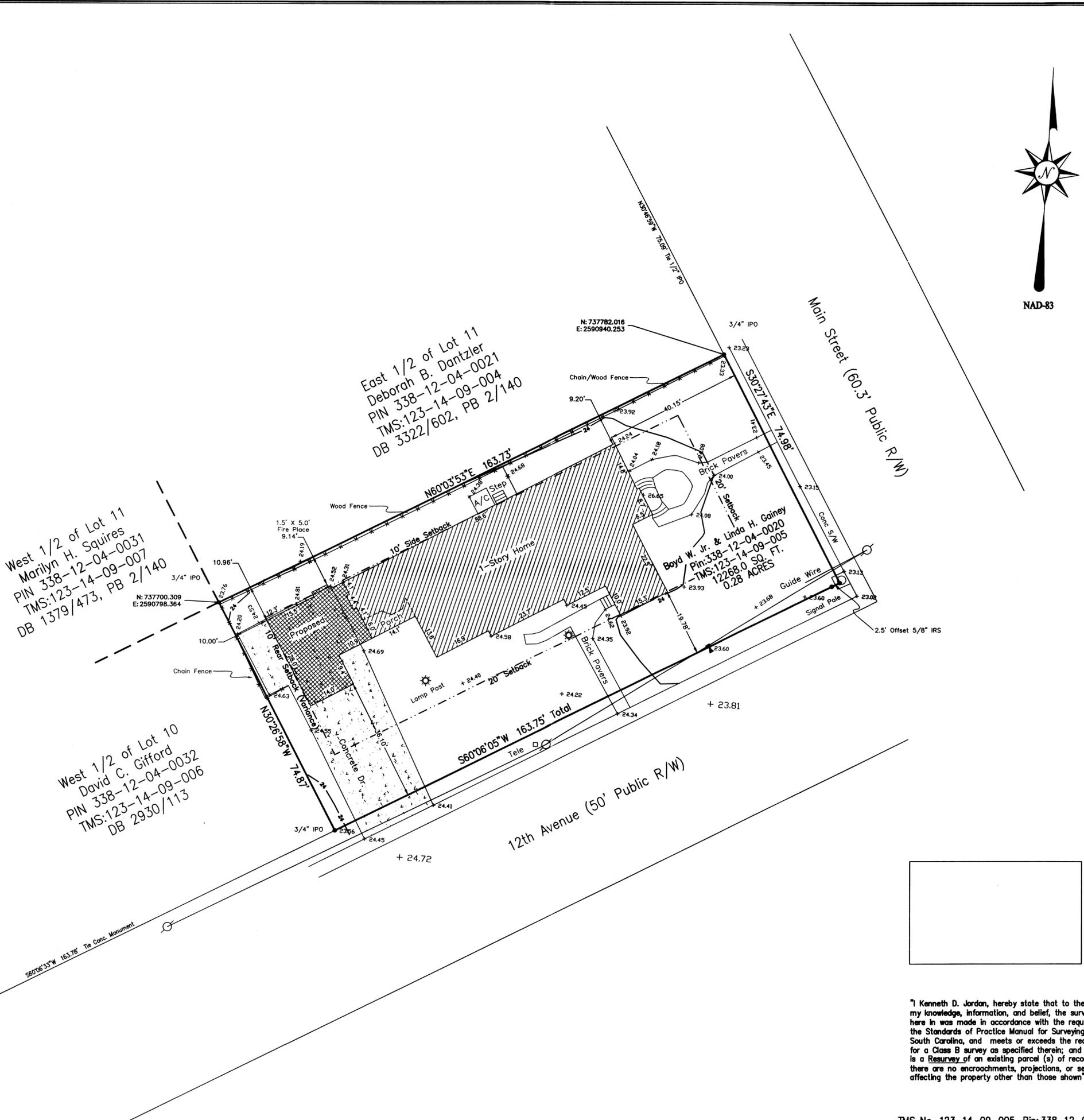
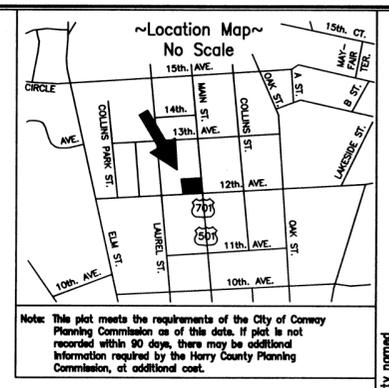
Signature of Contractor or Authorized Agent <u>Boyd W. GAINey Jr</u> Print Name <u>[Signature]</u> Signature of Owner (If Builder) _____ Print Name	Is RESIDENCE 50 years or older? <input checked="" type="checkbox"/> A print out, available from the Horry County Assessor's Office, is required as proof age. VALUATION OF WORK: \$ <u>22,000</u> Valuation on Building Permits will be calculated by Building Department. Separate permits may be required. Subcontractor information must be provided. NOTE: ALL SEWER & WATER FEES MUST BE PAID PRIOR TO THE ISSUANCE OF PERMITS ON NEW CONSTRUCTION.
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Approvals	Building	Zoning	Type of Const.	Occupancy Group	Total Sq. Ft
	Building Permit	\$ _____	# Stories	# Dwelling Unit	# Bedrooms
	Electrical Permit	_____	# Bathrooms	Elec. Amp	HVAC
	Plumbing Permit	_____	Flood Elevation	Fire Sprinklers	# of Seats
	Mechanical Permit	_____	Date Issued: _____ Issued By: _____ Permit # _____ Permit Amt \$ _____		
	Gas Permit	_____			
	Sign Permit	_____			
	Plan Review Fee	_____			
	Fire Sprinklers	_____			
	Other	_____			
	Total Amount Due	_____			

We are replacing our building on existing
foot print and connecting to house by a porch.

We purchased the property in 1978 and
have made major improvements and additions over
the years.

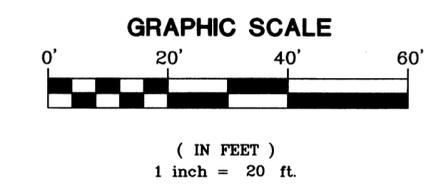
- Legend
- Conc. S Concrete Monument Set
 - Conc. F Concrete Monument Found
 - EP Edge of Pavement
 - IP Iron Pipe Set
 - IPF Iron Pipe Found
 - IR Iron Rod Set
 - IRF Iron Rod Found
 - N&C Nail and Cap
 - PN Point
 - PL Spike Set
 - SP Spike Found
 - C.B. Catch Basin
 - AF Ase Found
 - ST. 3X0 Stake 3X0 Found
 - C&G Curb and Gutter



- Notes:
- The 100-Year Flood Boundary was obtained directly from FEMA Flood Map 45051C0506 H, (effective date August 23, 1999). This property is located in Flood Zone X-Out. Flood Zone locations are scaled from current FEMA Maps. Scales vary from 1"=500' to 1"=2000' and are noted as being approximate on said maps. Kenneth D. Jordan, PLS does not certify to or assume responsibility of the accuracy of the flood zone lines. Flood lines are subject to verification by the County FEMA Officer.
 - This plot was prepared without the benefit of a title report. Property is subject to all restrictions noted in recorded deeds and/or established by recorded plans.
 - There has been no determination of wetlands or hazardous waste on this property.
 - Elevations based on NGVD 29 Datum.

- References:
- Plot by S.D. Cox dated June 8, 1939. Recorded in Plat Book 2 at Page 140, Horry County Records.
 - Plot by S.D. Cox Surveyors, Inc. dated January 21, 1972 for Christine A. Bell and Fernie Bell. Recorded in Plat Book 53 at Page 77, Horry County Records.

~Plot~
of a Plot Survey of the Eastern 1/2 of
Lot 10, B.G. Collins Estate, Conway, Horry County, S.C.
surveyed for
**Boyd W. Gainey, Jr.
& Linda H. Gainey**



K & R LAND SURVEYORS, INC.
Surveyors • Land Planners
312 Laurel Street • Conway, S.C. 29526
(843) 488-1804 • Cell: (843) 241-7842
Fax: (843) 248-9284



Kenneth D. Jordan, P.L.S. No. 21936
Date: 6-22-2015

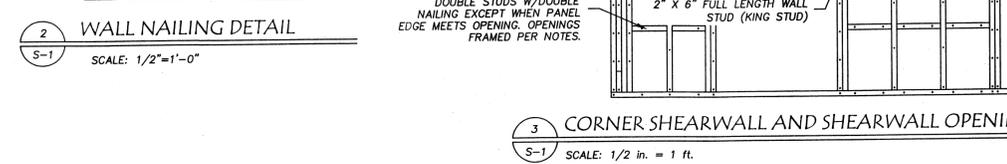
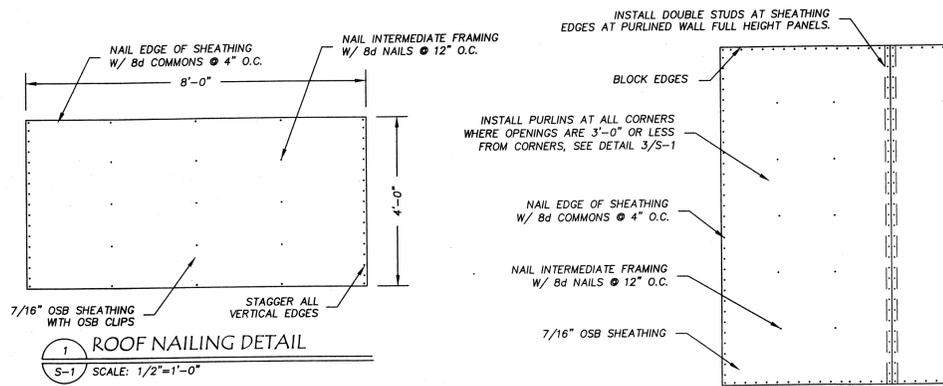
"I Kenneth D. Jordan, hereby state that to the best of my knowledge, information, and belief, the survey shown here in was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class B survey as specified therein; and that this is a Resurvey of an existing parcel (s) of record. Also, there are no encroachments, projections, or setbacks affecting the property other than those shown"

If the surveyor's signature is not red colored, the plot is a copy that should be assumed to contain unauthorized alterations. The certification contained on this document shall not apply to any copies.

© 2015 K & R Land Surveyors, Inc. Kenneth D. Jordan, Agent.
No warranty is made to others utilizing this plot for the purpose of further conveyances, deed descriptions, title certifications, etc.

This plot is the property of K & R Land Surveyors, Inc. and may not be used without their written consent. This plot and field survey were made for the exclusive use of the person, persons, or entity named in the certification here on. Said certification does not extend or transfer to any unnamed person, persons, or entity without an expressed re-certification by the surveyor naming said person, persons, or entity.

Drawer B-1593 B CSW 0003 20150248 kdj



GENERAL NOTES:

- REFERENCE ARCHITECTURAL DRAWINGS FOR DETAILS NOT SHOWN IN THESE PLANS SUCH AS DIMENSIONS, FINISHED FLOOR ELEVATIONS, DRAINAGE, FLASHING, FIRE AND WATER PROTECTION.
- ALL MATERIALS USED FOR CONSTRUCTION SHALL CONFORM WITH APPLICABLE CURRENT CODES AND STANDARDS.
- IN CASE OF ANY DISCREPANCY IN DIMENSIONS OR DETAILS, CONTACT THIS OFFICE.
- FOUNDATION PAD SHOULD BE CLEARED OF ROOTS OR UNSUITABLE MATERIAL. FILL MATERIAL SHALL BE COMPACTED ACCORDING TO ASTM D-698.
- ALL CONSTRUCTION MATERIALS BELOW THE B.F.E. (BASE FLOOD ELEVATION) SHALL BE PRESSURE TREATED OR FLOOD RESISTANT.

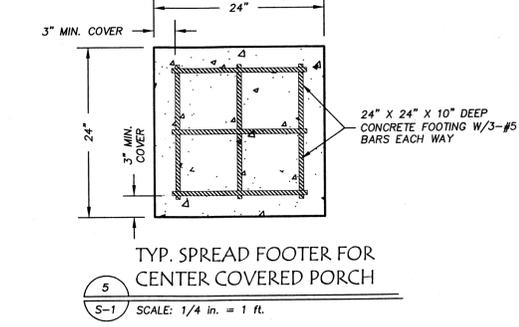
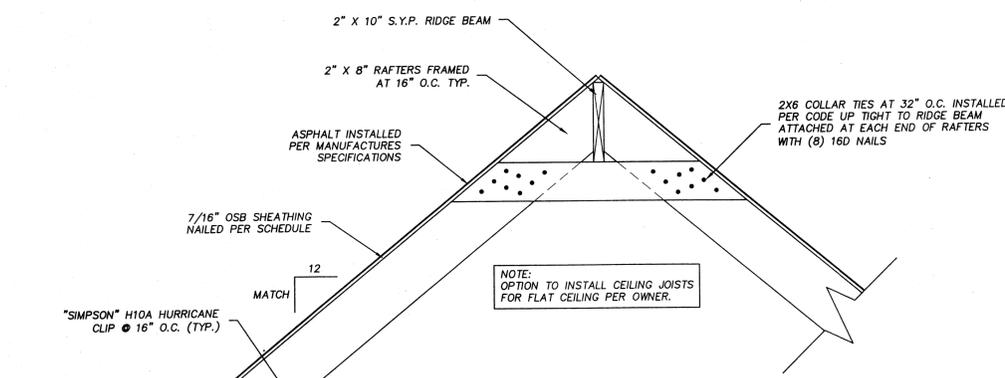
STRUCTURAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FAILURES AND DAMAGES DUE TO INADEQUATE BRACING OR SHORING DURING CONSTRUCTION.
- ALL FRAMING SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE BUILDING CODE AND AF&PA SPAN TABLES.
- EXTERIOR CONSTRUCTION, INCLUDING STAIRS, DECKS AND LANDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE.
- WIND AND FOUNDATION DESIGN IS BASED ON THE 2012 IBC. DETAILING FOR WIND LOADING IS BASED ON ASCE 7-10.
- MINIMUM DESIGN LOADS: ROOF LIVE LOAD-20 PSF, ROOF DEAD LOAD-10 PSF, WALL DEAD LOAD-10 PSF, FLOOR LIVE LOAD 40 PSF, FLOOR DEAD LOAD-20 PSF.
- FOOTING DESIGN BASED ON 2000 PSF SOIL BEARING PRESSURE. FOOTERS SHALL EXTEND DOWN TO SOLID BEARING MATERIAL.
- FOOTING AND WALL REINFORCEMENT SHALL BE ASTM A-615, GRADE 60 PER ACI SPECS. ALL FOUNDATION STEEL SHALL HAVE A MINIMUM OF 3" COVER.
- STEEL SHALL CONFORM TO ASTM A-36 SPECS AND SHALL BE CONSTRUCTED PER AISC SPECS.
- CONNECTIONS WITH FIELD BOLTS SHALL BE HIGH STRENGTH U.N.O.
- ALL LUMBER FOR BRACING OR HEADERS SHALL BE #2 SYP AT 19% M.C. AND SHALL BE PRESSURE TREATED 0.80 CCA IF IN DIRECT CONTACT WITH MASONRY OR STEEL.
- ALL CONCRETE MASONRY SHALL CONFORM TO ASTM C-90, TYPE 1, GRADE N-1, PUMICE OR EXPANDED SLAG. MORTAR SHALL BE TYPE S.
- TRUSSES AND STRONG-BACK TIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. TRUSSES SHALL BE DESIGNED TO BEAR ON EXTERIOR, SHEATHED WALLS.
- ALL STRUCTURAL LUMBER SHALL BE HAND/GUN NAILED IN ACCORDANCE WITH THE IRC. SHEATHING NAILS SHALL BE 0.131" SHANK 8d COMMON.
- ANCHORS SHALL BE INSTALLED ON BOTH SIDES OF SPLITS IN BASE PLATE.
- OPENINGS GREATER THAN 3' AT TOP PLATE SHALL HAVE LSTAIRS INSTALLED ON EACH SIDE. BEAMS AND HEADERS GREATER THAN 6' IN SPAN LENGTH SHALL BE SUPPORTED AT EACH END BY HALF THE NUMBER OF STUDS WHICH WOULD HAVE BEEN LOCATED IN A WALL SECTION OF THE SAME WIDTH. (EX. OPENING OF 16' WOULD HAVE 6 STUDS EACH END.)

SEISMIC NOTES:

- 0.2 SECOND SPECTRAL RESPONSE ACCELERATION: 0.893G
- SEISMIC DESIGN CATEGORY: C
- BEARING WALL SYSTEM: LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS.
- GLAZED PROTECTION MUST BE PROVIDED BY ONE OF THE FOLLOWING:
 - IMPACT RESISTANT GLASS MEETING THE REQUIREMENTS OF ASTM E 1996 AND E 1886
 - PRE-ENGINEERED HURRICANE SHUTTERS
 - WOOD STRUCTURAL PANELS, PRE-CUT FOR ALL GLAZED OPENINGS. PANELS SHALL BE STORED ON SITE WITH 2 1/2" LONG #8 OR #10 WOOD SCREW ATTACHMENT HARDWARE THAT SHALL BE ATTACHED ACCORDING TO TABLE R301.2.1.2

WIND VELOCITY BASED ON THE ASCE 7-10 CLIMATE EQUIVALENT NOMINAL WIND SPEED: 140 MPH
WINDBORNE DEBRIS REGION: YES



THESE DETAILS AND SPECIFICATIONS ARE FOR FOUNDATION WIND DESIGN PER 2012 IBC.

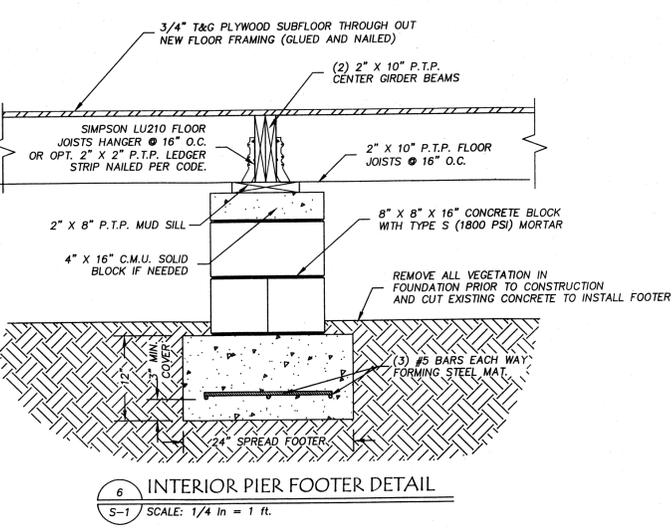
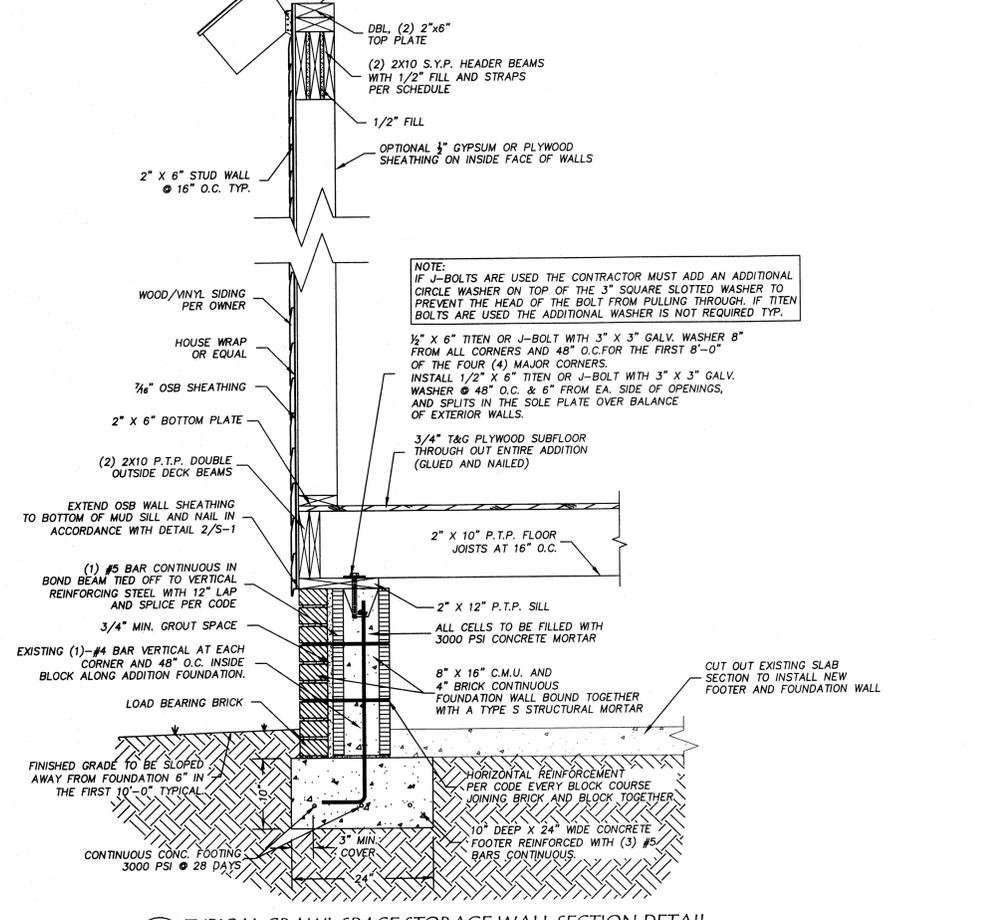
HEADER SCHEDULE PER 2012 IBC						
UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN	NUMBER OF FULL LENGTH STUDS @ EA. END OF HEADER	NUMBER OF FULL LENGTH STUDS @ EA. END OF HEADER	HEADER TO HEADER STUD CONNECTION	HEADER
8' OR LESS	16 in.	3 ft. or less	1	1	NONE	(2) - 2" X 10"
		3 ft. to 6 ft.	1	2	LSTAIRS (SIMPSON)	(2) - 2" X 10"
		6 ft. to 8 ft.	2	2	LSTAIRS (SIMPSON)	(2) - 2" X 10"

EXTERIOR SHEARWALL SCHEDULE				ROOF DIAPHRAGM SCHEDULE			
I.D.	MATERIAL	SIZE	EDGE INTER.	I.D.	MATERIAL	SIZE	EDGE INTER.
LONGITUDINAL	7/16" OSB SHEATHING	8d	4 in. 12 in.	ROOF #1	7/16" OSB SHEATHING	8d	4 in. 12 in.
TRANSVERSE	7/16" OSB SHEATHING	8d	4 in. 12 in.				

TOP AND BOTTOM PLATE FASTENERS			
I.D.	MATERIAL	SIZE	EDGE INTER.
TOP OF WALL LEVEL	7/16" OSB SHEATHING	8d	4 in.
FLOOR LEVEL	7/16" OSB SHEATHING	8d	4 in.

DOUBLE TOP PLATE NAILING			
I.D.	LOCATION	FASTENERS	COMMENTS
DOUBLE TOP PLATE	INTERIOR RUNS	16d	16 in.
DOUBLE TOP PLATE	LAPS, SPLICES AND INTERSECTIONS	(3) 16d	EA. SIDE OF JOINT

WINDOWS AND DOORS MUST BE RATED FOR A MINIMUM DESIGN PRESSURE OF: DP-50



RAFTER SPANS

SIZE	MAX SPAN WITH SAFTY FACTOR OF 1.33%
2X4 NO.2	16" O.C. S.Y.P. MAX SPAN IS 6'-8"
2X6 NO.2	16" O.C. S.Y.P. MAX SPAN IS 10'-7"
2X8 NO.2	16" O.C. S.Y.P. MAX SPAN IS 13'-10"
2X10 NO.2	16" O.C. S.Y.P. MAX SPAN IS 17'-4"
2X12 NO.2	16" O.C. S.Y.P. MAX SPAN IS 26'-0"

CEILING JOIST SPANS

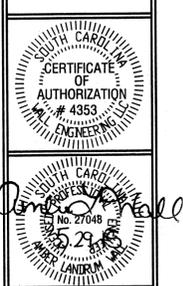
SIZE	MAX SPAN WITH SAFTY FACTOR OF 1.33%
2X4 NO.2	16" O.C. S.Y.P. MAX SPAN IS 8'-5"
2X6 NO.2	16" O.C. S.Y.P. MAX SPAN IS 13'-3"
2X8 NO.2	16" O.C. S.Y.P. MAX SPAN IS 17'-6"
2X10 NO.2	16" O.C. S.Y.P. MAX SPAN IS 22'-0"
2X12 NO.2	16" O.C. S.Y.P. MAX SPAN IS 25'-10"

IF MATERIAL LENGTHS ARE UNAVAILABLE CONTACT THIS OFFICE FOR ALTERNATE FRAMING MEMBERS

RIDGE BEAMS

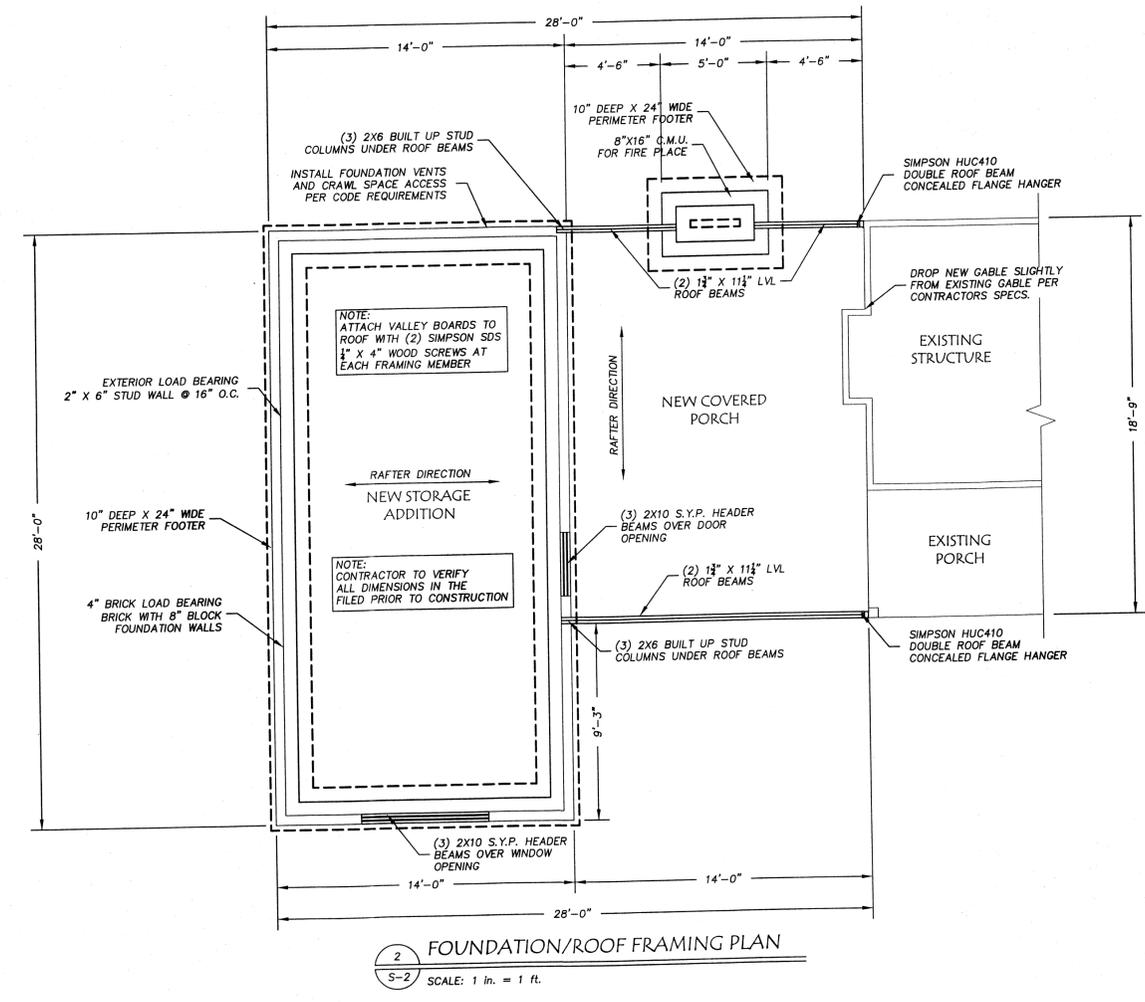
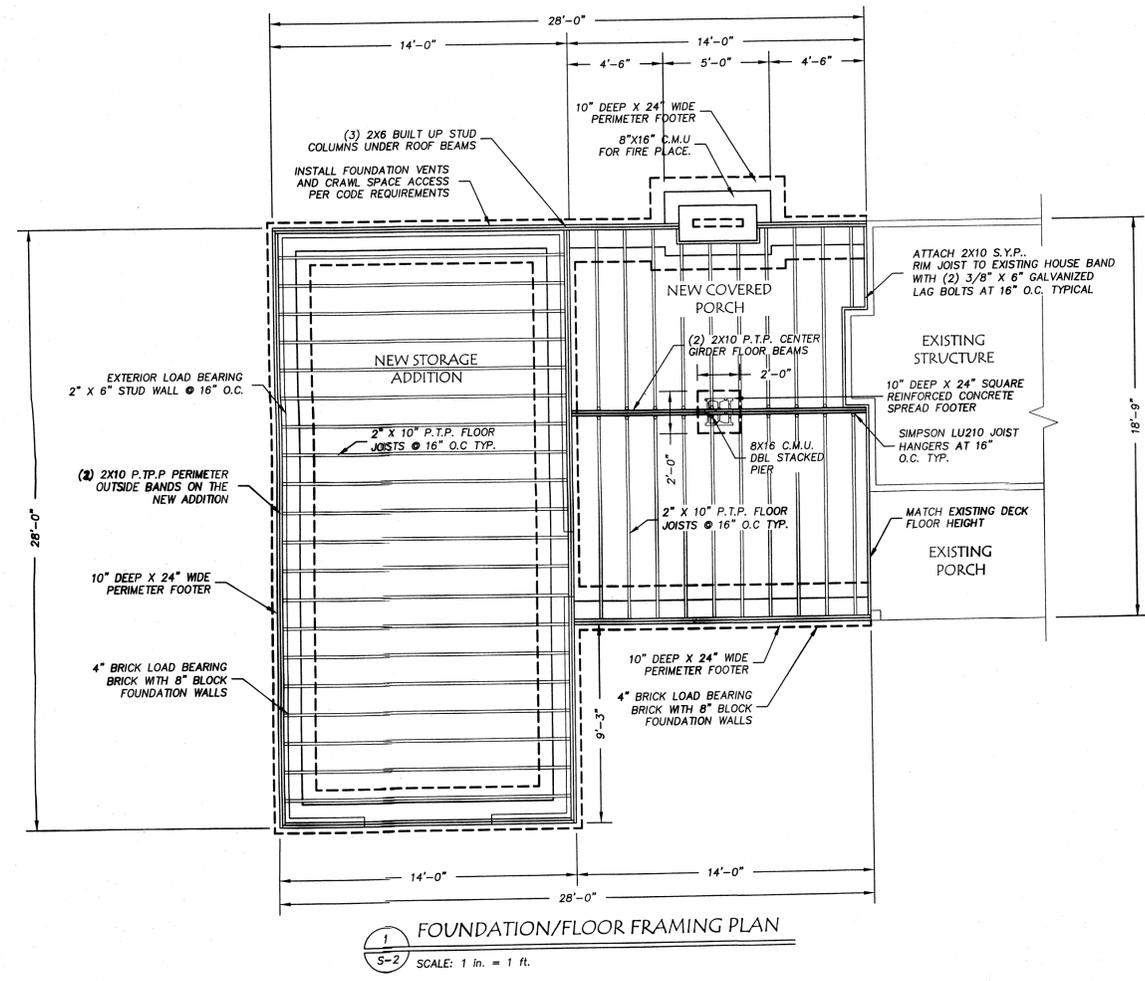
RAFTER SIZE	RIDGE BOARD SIZE
2" X 6" S.Y.P.	2" X 8" S.Y.P.
2" X 8" S.Y.P.	2" X 10" S.Y.P.
2" X 10" S.Y.P.	2" X 12" S.Y.P.
2" X 12" S.Y.P.	1 3/4" X 14" LVL

Wall
ENGINEERING & DESIGN
31481 LAUREL ST. CONWAY, SC 29526
843-488-4180
WWW.WALLENG.COM



DATE: MAY 29, 2015
DRAWN BY: APP
DRAWING NO.: S-1
JOB NO.: 15433 BUDDY
SHEET: 1 OF 2

using existing foot print
CONWAY NATIONAL ADDITION
1201 MAIN STREET CONWAY, SC
PREPARED FOR
CONWAY NATIONAL



ISSUE:

First United Pentecostal Church: The applicant, Ryan Harvey, would like to install a handicap ramp at First United Pentecostal Church, located at 906 Main St. The applicant will need to remove the landscaping that is currently in place to accommodate the ramp. The brick and railing will match what is currently used on the porch of the church (TMS #123-14-18-004 / PIN: 33813010030).

ZONING DISTRICTS:

Professional (P), Main Street Corridor HDRD

SCOPE OF WORK:

The applicant is requesting to install a handicap ramp to service the church members of First United Pentecostal Church. Per the applicant's submittal:

- The ramp proposes to be approx. 3.5' wide x 23.5' long (82.25 sq. ft., approx.)
- The slope of the ramp 1' V x 12' H (ADA requirement).
- The ramp surface will be a broomed concrete.
- The façade (brick) will match the existing façade on the church.
- The handrail will match existing handrails on church.

A rendering of the proposed handicap ramp is included with the applicant's submission.

The lot is located in the Professional (P) zoning district. This intent of this district is to accommodate office, institutional, and residential uses in areas whose character is neither exclusively business nor residential in nature. This district is intended to establish areas that provide professional services to the public, which do not materially detract from nearby residential areas. More specifically this district should serve as a transitional zone between more intensive commercial areas and residential areas. This district is not intended for businesses that engage in retail sales.

APPLICABLE ORDINANCE AND GUIDELINES

City of Conway Unified Development Ordinance (UDO):

- ***Section 5.1.22 Religious Institutions:***
 - *“Religious institutions less than three acres of contiguous land shall be permitted as a conditional use in the following zoning districts: RA, RR, R-1, R-2, R-3, R-4, P, NC, HC, CBD, IN, and FA,” subject to conditions.*
 - *F. Architectural Design Standards*
 1. *Religious institutions located within the HDRDs shall be reviewed and approved by the Community Appearance Board (CAB) and shall meet the “Historic Design Review Districts: Community Appearance Guidelines.”*

“Historic Design Review Districts: Community Appearance Guidelines”:

- ***8.6. Residential Yards:***
 - *Fences, Steps, Retaining Walls and ADA Ramps*
 - 8.6.14 – ***If and ADA Ramp must be constructed to access a home*** (in this case, a church), ***make every effort to do so at side or rear. Do not remove or alter any historic built-in features of, or anchor ramp into, the structure unless construction is totally***

reversible to the original architecture. Construct the ramp to be as freestanding as possible, using compatible materials of the home.

STAFF RECOMMENDATION:

Staff recommends approval of the applicant's request, as submitted, with the following conditions:

- The applicant must obtain a building permit.
- The handicap ramp must comply with ADA regulations.